

# Materials for information session for residents

~ Expansion of quasi-city planning areas, etc ~



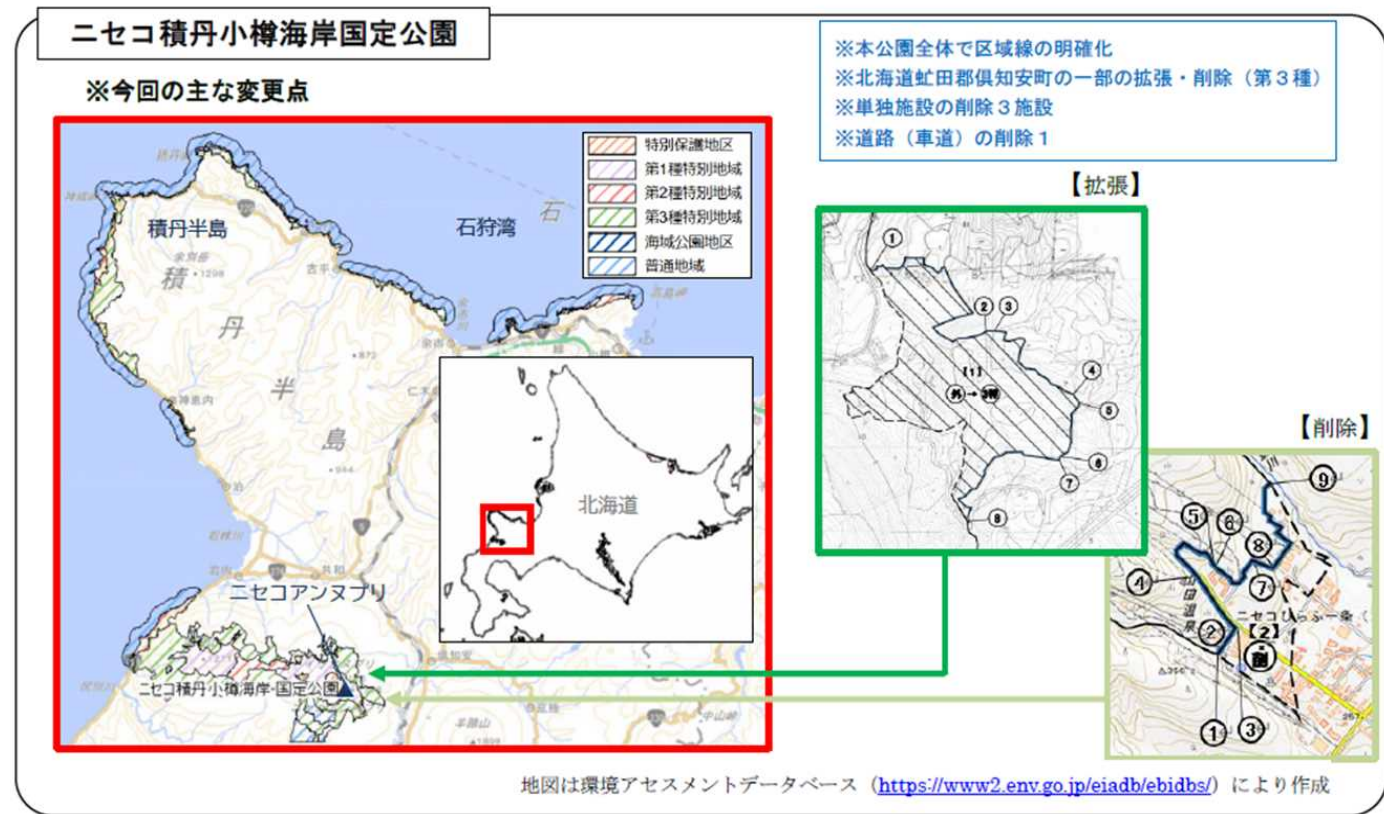
August 28, 2025

Kutchan Town, Town Planning and Shinkansen Division

# ○Purpose

The quasi-national park area around Niseko Tokyo Grand Hirafu Ski Resort is to be reduced. The reduced area will be designated as quasi-city planning areas to ensure development and construction in that area will be in line with the surrounding areas.

Excerpt from "Public Comments on Changes to the Park Area and Park Plan of Niseko-Shakotan-Otaru Coast Quasi-National Park (Third Review)"



# ○Timing of Expansion (planned)

March 1, 2026

# ○Area of Expansion

The area inbetween the red and yellow lines shown below is the expanded area of the quasi-city planning area.



## ○Rules applied to the expanded area

In order to create a unified streetscape, the rules applied to the expanded area will be the same as those for the adjacent areas:

- 1) Restrictions on form of building : Establish Building coverage, Floor area ratio, Road slant line limitation, Adjacent land slant line limitation  
→ See page 5
- 2) Special Use Restriction Districts : Tourism I area  
→ See page 6~8
- 3) Landscape Districts : Center Village Area  
→ See page 9~16

### ※Other restrictions

- Road Access Obligation  
Buildings must abut a road (minimum width of 4 meters and is stipulated under the Building Standards Act) for at least 2 meters.
- Development Permit  
When carrying out land development of 3,000m<sup>2</sup> or greater (currently 10,000m<sup>2</sup> or greater) with the aim of constructing a building, Development Permit must be obtained in accordance with the City Planning Act.

The above standards will be applied to construction work that begins after the effective date (scheduled for March 1, 2026).

# 1) Building volume standards (Restrictions on form of building )

Type of restriction	Details	Image of restriction
<p>Building coverage</p> <p><u>40%</u></p>	<p>Ratio of building area to the site area</p>	<p>Conceptual drawing</p> <p>Total floor area on each floor (total area) 200 m<sup>2</sup> ⇒Capacity ratio 200%</p> <p>Site area 100 m<sup>2</sup></p> <p>Building area 60m ⇒ Building coverage 60%</p>
<p>Floor area ratio</p> <p><u>300%</u></p>	<p>Ratio of the total floor area of building to the site area</p>	
<p>Road slant line limitation</p> <p><u>1.5</u></p>	<p>Building height is limited to secure the sky factor of road and protect the dwelling environment conditions including sunshine, lighting, and ventilation in blocks</p>	<p>Road slant line</p> <p>Adjacent land slant line</p>
<p>Adjacent land slant line limitation</p> <p><u>1.25, up to 20m height</u></p>	<p>Building height is limited to maintain the hygienic environment conditions including ventilation and lighting between adjacent lands.</p>	

## 2) Standards for Special Use Restriction Districts [Tourism I Area ]

In the expanded area, buildings and structures that fall under the following usage will no longer be allowed to be constructed. There are no restrictions for building usage such as retail stores, restaurants, hotels, etc., which are the common type of business in this area.

### •Restrictions on building usage

#### (1) Factory facilities

- [Prohibited] Factories that use prime movers and where the total work area exceeds 50 square meters.

[Permitted] If such factories are; bakeries, rice store, tofu store, candy stores, and others businesses in the food manufacturing industry, meetings both the following criteria;

- Total work area is 100 square meters or smaller
- Prime mover power output is 1.5 kw or less.

[Permitted] If such factories are those that produce art and/or crafts, and meets both the following criteria;

- Those work area is 100 square meters or smaller
- Prime mover power output is 1.5 kw or less

#### (2) Facilities storing hazardous materials

- [Prohibited] Buildings used for storage or treatment of hazardous materials, and the storage/treatment amount exceed the amount listed in the “Commercial District” column of the list in Article 130-9 of the Order for Enforcement

[Example] Exceeding the following amounts is prohibited.  
liquified gas-7tons, kerosene- 10 kiloliters, heavy oil-20 kiloliters

## 2) Standards for Special Use Restriction Districts [Tourism I Area ]

### ·Restrictions on building usage [continuation]

#### (3) Amusement facilities

- [Prohibited] Mahjong parlors, pachinko halls, shooting ranges, betting windows (for horse racing), off-track betting windows (for bicycle/motorcycle racing), and off-track betting windows (for boat racing)
- [Prohibited] Bowling alleys, Golf driving ranges and batting cages

#### (4) Adult entertainment facilities

- [Prohibited] Cabarets, dining outlets with hostesses/hosts, and others similar thereto
- [Prohibited] Public bathhouses related to bathroom businesses providing private rooms, and others similar thereto specified in Article 130-9-5 of the Order for Enforcement

#### (5) Logistics facilities

- [Prohibited] Commercial warehouses
  - \*Private storage warehouses can be constructed.

#### (6) Agricultural facilities

- [Prohibited] Livestock barns

## 2) Standards for Special Use Restriction Districts [Tourism I Area ]

- Restrictions on the usage of structures

- ( I ) Manufacturing industrial materials

- [Prohibited] Structures using prime movers to crushing of minerals, rocks, earth, concrete, asphalt concrete, sulfur, metals, glass, bricks, ceramics, bones or shells
    - [Prohibited] Structures using prime movers with total output exceeding 2.5kW for the purpose of manufacturing of ready-mix concrete or the bagging of cement
    - [Prohibited] Structures used for manufacturation using asphalt, coal tar, wood tar, petroleum distillates, or their residues as raw material

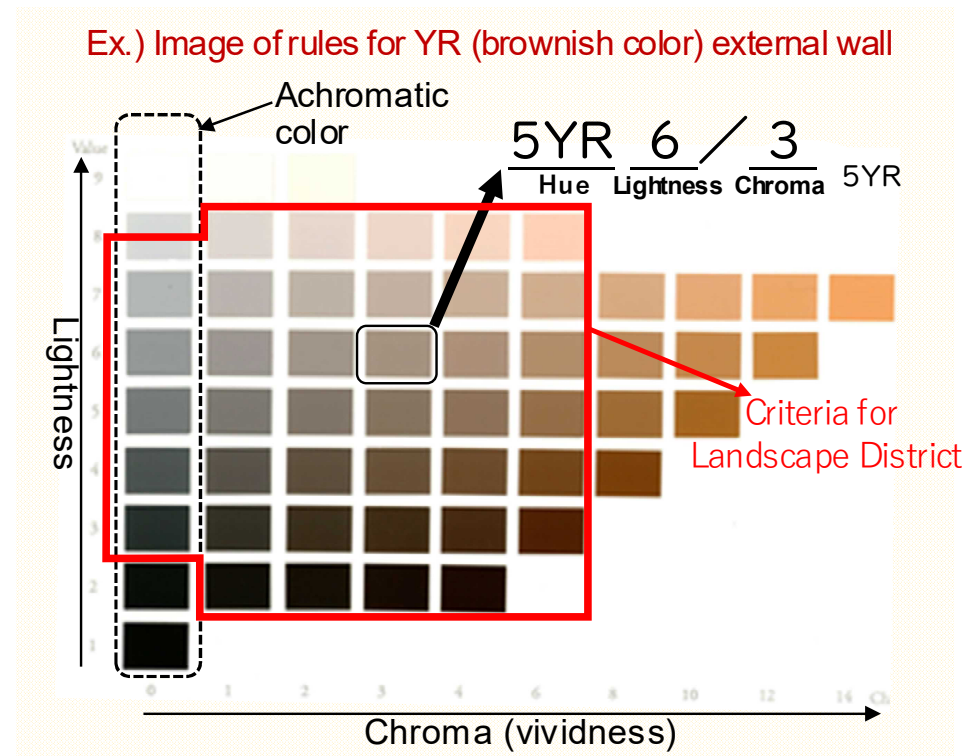
### 3) Standards for Landscape Districts [Center Village District]

#### Color standards for exterior walls and roofs

The color standards for buildings are regulated using "Munsell values" as shown in the table below. The standard color palette is characterized by the exclusion of overly bright, dark, and vivid colors.

	Hue	Lightness	Chroma
external wall color	R	2 or more – 8 or less	8 or less
	YR, Y	2 or more – 8 or less	6 or less
	GY, G, BG, B	2 or more – 6 or less	4 or less
	PB, P, RP	2 or more – 6 or less	2 or less
	N	3 or more – 7.5 or less	–

	Hue	Lightness	Chroma
Roof color	R	6 or less	8 or less
	YR	6 or less	6 or less
	Y, GY, G, BG, B	4 or less	4 or less
	PB, P, RP	4 or less </td <td>2 or less</td>	2 or less
	N	2 or more – 7.5 or less	–



### 3) Standards for Landscape Districts [Center Village District]

#### Standards for building design

In Landscape districts, detailed regulations have been established to take the landscape into consideration, such as the facilities attached to buildings and the layout of the top floor.

- (e.g.)
- In principle, energy equipment should be located inside the building, below ground level, or in a separate building.
  - If the building height exceeds 16m, the wall of the top floor must have sufficiently distance from the road.
  - Simple structures such as cargo containers and trailer homes must be designed to blend in with their surroundings.

#### <Consideration of adding standards to Landscape Districts (Center Village area)>

The current standard of "the wall of the top floor of a building exceeding 16m in height must have sufficient distance from the road" will be exempted for those buildings with roofs with a slope of 3-sun (angle 16.7 degrees) or more.

(Revision proposed) \*Added the parts written in red

The top floor, exceeding 16m in height (18m if the difference in elevation around the building is 2m or more), must be designed to minimize a feeling of oppression by ensuring a sufficient separation from the road side, except in cases where the entire building has a roof with a slope of 3-sun (angle 16.7 degrees) or more.

### 3) Standards for Landscape Districts [Center Village District]

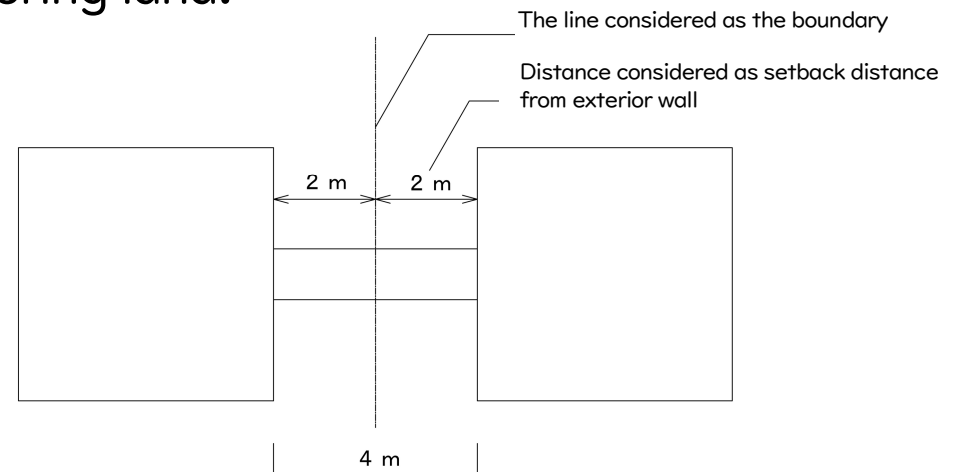
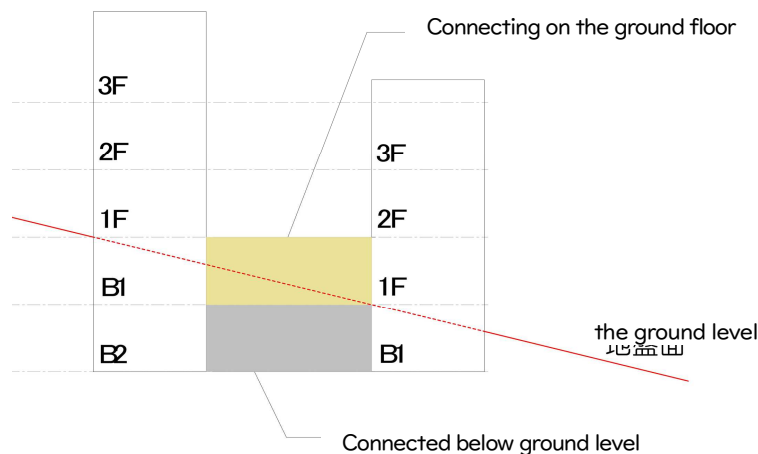
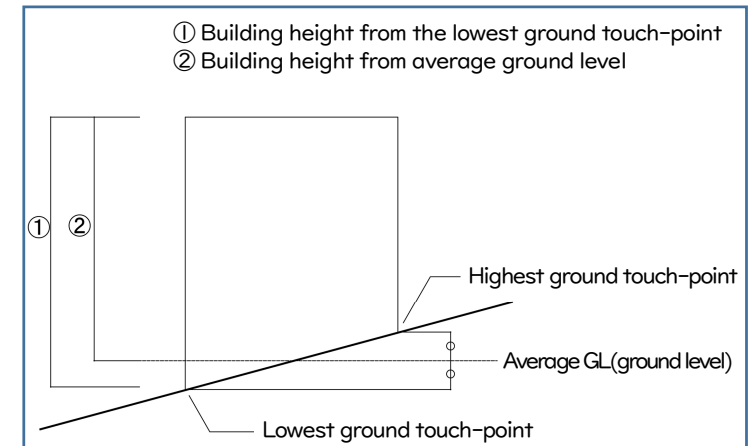
#### Building height restrictions

The maximum building height is 16m in principle, and can be up to 22m depending on specific conditions. This standard is the same as those applied to condominium hotels in special areas of quasi-national parks.

Building height is not calculated based on the height from the average ground level, but rather based on the height from the lowest point where the building touches the surrounding ground level. (① in the right figure)

In addition, if there are two or more buildings within one building site, the height of each building can be calculated separately subject to the following conditions.

- (1) The buildings are connected by a passageway (basement level or ground floor only) or lower part of the ground level.
- (2) Each building have a “detached building” stated in “The setback regulations buildings facing neighboring land.”



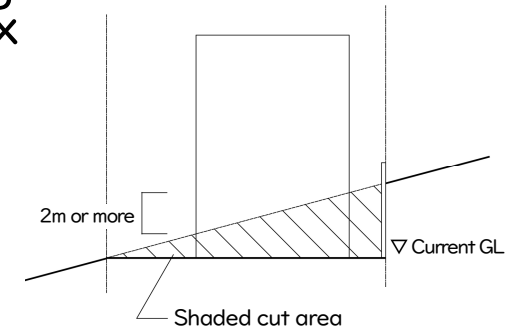
### 3) Standards for Landscape Districts [Center Village District]

#### · Building height restrictions [continuation]

<Consideration of adding standards to Landscape Districts (Center Village area)>

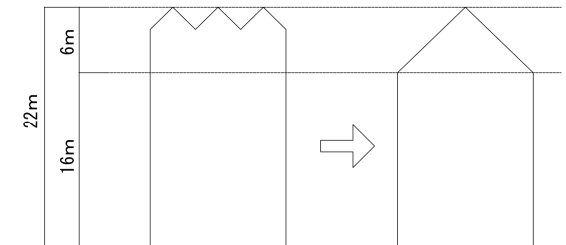
(1) Relaxation of height restrictions when there is a elevation difference around the building

Under the current standards, if the difference in elevation around the perimeter of the building is 2m or more, the upper limit on height is relaxed from 16m to 18m. The newly added standards will relax the upper limit on building height from 16m to 18m, on land that has already been developed to be flat and where it is clear that the difference in elevation around the perimeter of the building to be constructed in the future has been 2m or more due to cutting earth in the past.



(2) Addition of eaves height restrictions

For buildings over 16m in height (18m under certain conditions) with a roof slope of 3-sun (angle 16.7 degrees) or more, a new regulation will be added requiring the eave height to be 16m (18m under certain conditions) to avoid the building from having an oppressive impression.



**(Revision proposed)** \*Added parts written in red

The maximum height of a building is 16m (18m in the following cases: when the elevation difference around the building is 2m or more, or when the land has been flattened by cutting before the construction work is carried out and the Town Mayor has confirmed that the elevation difference around the building is 2m or more lower than the previous ground level). However, in cases where the entire roof has a slope of 3-sun (angle 16.7 degrees) or more (for gabled, hipped or similar roofs, the maximum eave height is 16m (18m if the difference in elevation around the building is 2m or more)), or where there is a floor with an area of 1/2 or less of the floor directly below up to 16m (18m if the difference in elevation around the building is 2m or more) (including the courtyard and areas surrounded by columns and beams that do not have exterior walls or a roof), the height shall be 22m.

### 3) Standards for Landscape Districts [Center Village District]

•Restriction on setback distance from external wall

The following setback distances must be secured from exterior walls to roads and adjacent land:

Front road			Boundary of adjacent land lot	
Classification	General road	prefectural road	Classification	Adjacent land
$200 \text{ m}^2 > \text{Building area}$	2.0 m or more	4.0 m or more	$14.0 \text{ m} > \text{Height}$	2.0 m or more
$200 \text{ m}^2 \leq \text{Building area} < 700 \text{ m}^2$	4.0 m or more	4.0 m or more	$14.0 \text{ m} \leq \text{Height}$	$\text{Height}/3.5 \times 0.5 \text{ m}$ or more
$700 \text{ m}^2 \leq \text{Building area}$	6.0 m or more	6.0 m or more		

•Minimum Lot Size

330 m<sup>2</sup>

\*If there is a plot of land (must have registration with the Legal Affairs Bureau) that does not meet the minimum lot size requirement at the time when this regulation come into effect, construction will be permitted only if building is done on that plot without any land division or land mergers.

### 3) Standards for Landscape Districts [Center Village District]

#### Standards for construction and external structure associated with building construction

In order to ensure that thorough consideration is given to the landscape not only of the building itself but of the entire building site, a separate "Application for Permission for Development Activities" based on the Landscape District Ordinance is required.

#### (1) Height difference restriction

- In principle, earth fill is prohibited (except for securing the approach from the road to the building, securing drainage, etc.).
- In principle, any elevation differences resulting from construction will be dealt with by slopes (filling with a slope gradient ratio 1:1.8 or more (angle 29.05 degrees or less), cutting with a slope gradient ratio 1:1.5 or more (angle 33.69 degrees or less)). The top and bottom of the slopes will be kept at a horizontal distance of 1 m or more from the site boundary.
- If it is unavoidable to build a retaining wall, the height of the vertical wall must be no more than 2m, and the height of the wall with gradient ratio 1:0.5 or more (angle 63.43 degrees or less) must be no more than 5m height. The top and bottom ends of the retaining wall must have a horizontal distance of 1 m or more from the site boundary.

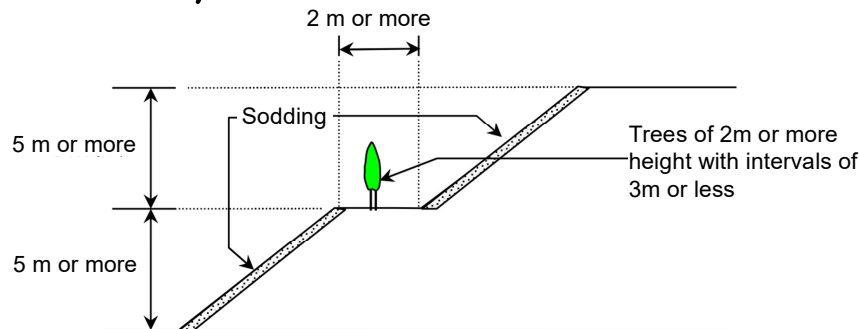


Image of conservation area  
(Sapporo City "Guide for Scenic Zone System")



Ex.) Green retaining wall



Oppressive vertical retaining wall of more than 2 m

### 3) Standards for Landscape Districts [Center Village District]

#### Standards for construction and external structure associated with building construction [continuation]

##### (2) Parking lot arrangement

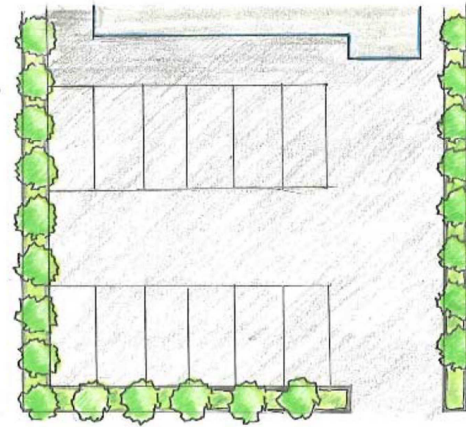
• For buildings facing Hirafu-zaka or Prefectural Route 343, if parking for five or more cars is plotted, the car parking must be located in an inconspicuous location from the road (in an underground parking lot or at the rear of the building).

However, along Prefectural Route 343, parking lots can be located on the road front side if they blend in with the scenery through landscaping such as arranging greenery.

If parking lots are located on the ground level, they must be at least 50 cm away from the neighboring land boundary.



Image of "Hirafu-zaka"



Landscaping with plants

##### (3) Securing open space for building sites smaller than 330 m<sup>2</sup>

• At least 5% of the lot size must be reserved on the front road side as open (excluding parking lots, roads, and areas with trees) that can serve as a parking space for emergency vehicles and a place to manage temporary snow accumulation, etc.

### 3) Standards for Landscape Districts [Center Village District]

#### Standards for construction and external structure associated with building construction [continuation]

(4) Setting Green coverage ratio for building sites of 330m<sup>2</sup> or larger

- If the site falls within a designated area of privately owned forest subject to a regional forest plan as stipulated in Article 5 of the Forest Act, the area to be left forested (referred to as the "Forest coverage ratio") will account for at least 30% of the site.

- For sites that do not fall under the above category, a Green coverage ratio of 10% or more (the total of the conversion areas in the table on the right divided by the building site area multiplied by 100) must be secured. Note that there is a relaxation of the conversion area to double in cases where existing trees are left intact or greening is done on the front road side.

Classification	Summary	Converted area	Remarks
Tall tree A	Per tree	25 m <sup>2</sup>	Height: ≥ 10 m
Tall tree B	Per tree	10 m <sup>2</sup>	Height: 6 ≤ h < 10 m
Tall tree C	Per tree	8 m <sup>2</sup>	Height: 4 ≤ h < 6 m
Medium tree	Per tree	5 m <sup>2</sup>	Height: 2 ≤ h < 4 m
Low tree	Per tree	1 m <sup>2</sup>	Height: < 2 m
Lawn	Per 1 m <sup>2</sup> area	0.8 m <sup>2</sup>	
Greening block	Per 1 m <sup>2</sup> area	0.4 m <sup>2</sup>	30% or more green area ensured
Flowerbed	Per 1 m <sup>2</sup> area	0.4 m <sup>2</sup>	
Garden stone, etc.	Per 1 m <sup>2</sup> area	0.2 m <sup>2</sup>	
Pond, etc.	Per 1 m <sup>2</sup> area	0.2 m <sup>2</sup>	
Stone path	Per 1 m <sup>2</sup> area	0.2 m <sup>2</sup>	Interlocking block, brick, natural stone, etc.

# ○Building Construction Process

## - from pre-consultation to application and completion

[Reference]  
For the application process for development activities exceeding 3,000m<sup>2</sup>, please see here.



Meet all of the following

- Total floor area is 1,000m<sup>2</sup> or less
- Floor area ratio is 150% or less
- Height is 15m or less

The total floor area is between 1,000 and 3,000m<sup>2</sup>, or the floor area ratio is more than 150%.

The total floor area is more than 3,000m<sup>2</sup>, or the height is more than 15m

Blue text: Actions taken by the applicant

Green text: Responses by the Kutchan Town Administration

### Prior consultation

Notify the start of preliminary consultations  
(Approximately two months before submitting the certification application.)

Notify the start of preliminary consultations  
(Approximately 9 months before submitting the certification application.)

Landscape design conference (2 times)

- Early stage of basic design
- Later stage of basic design

\*This applies to plans for constructions beginning after the rule comes into effect.

Information session to local residents  
(approximately 30 days before submitting certification application)

Report on the results of the information session  
\*The plan will be adjusted based on the results of the information session

Notification of the end of the preliminary consultation

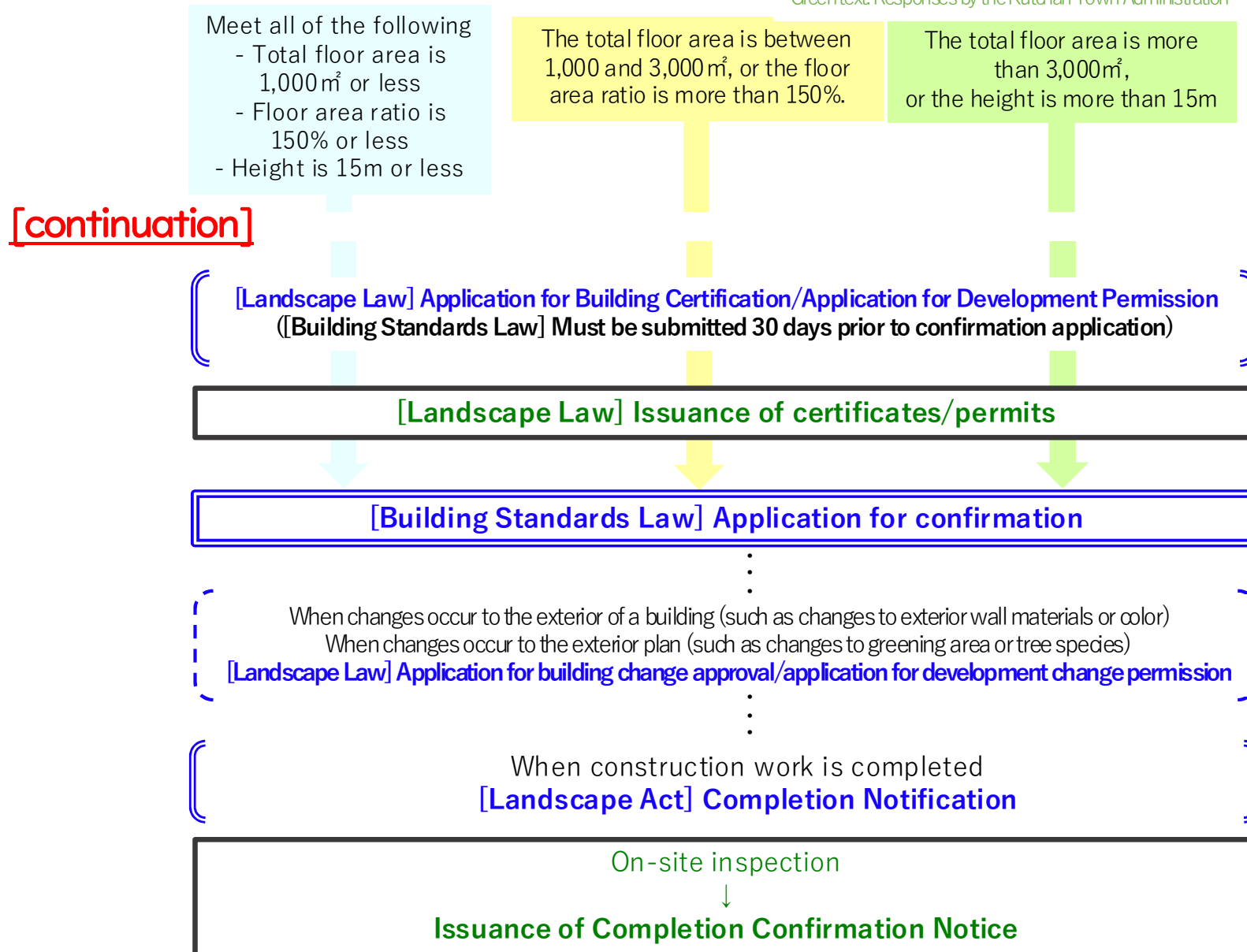
Advance consultation  
[Landscape Act] 30 days before application

# ○Building Construction Process

- from pre-consultation to application and completion

Blue text: Actions taken by the applicant

Green text: Responses by the Kutchan Town Administration



[continuation]

\*If an on-site inspection reveals that the color or other aspects do not meet the standards, we will request that they be corrected.